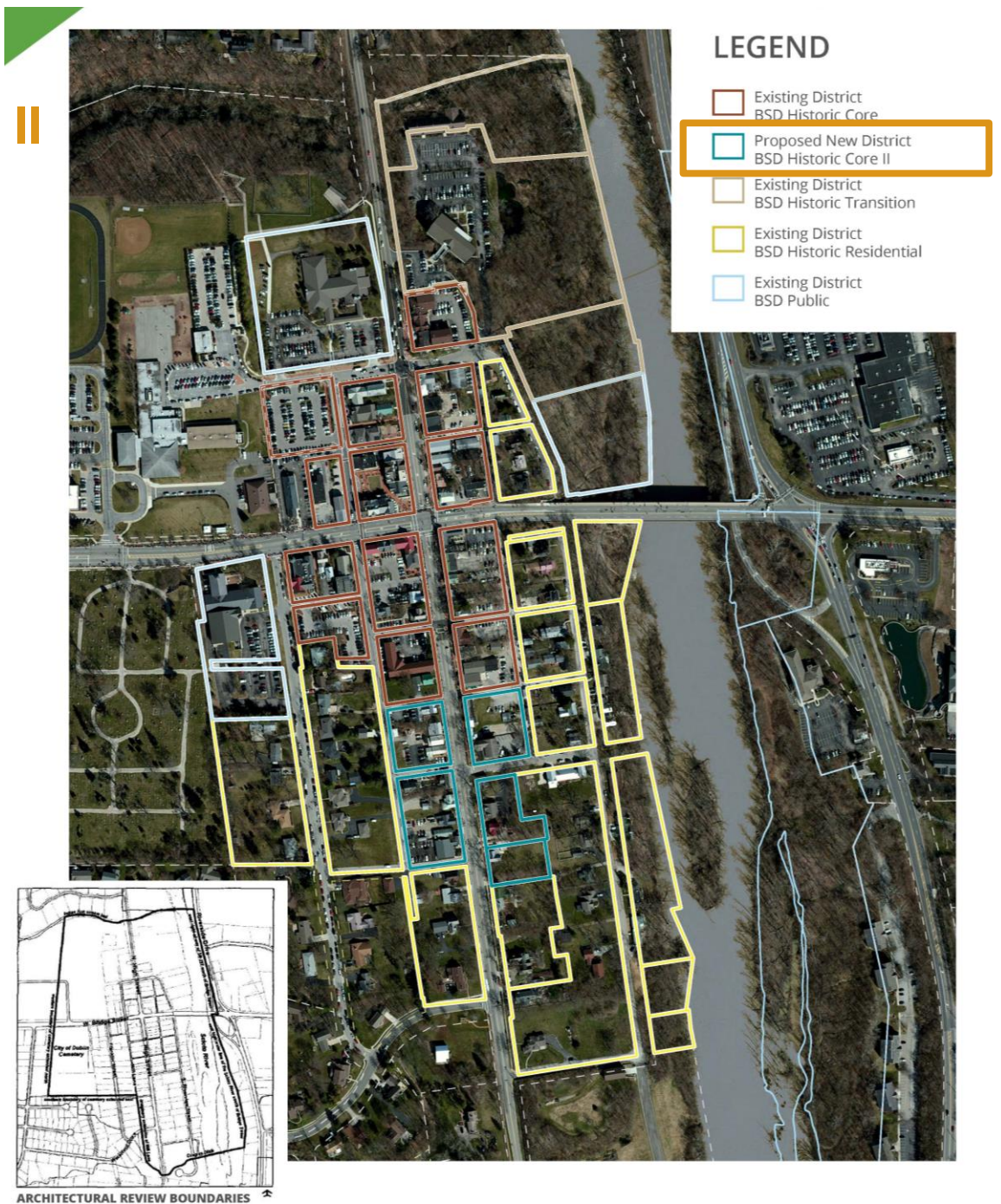


ZONING DISTRICTS HISTORIC DUBLIN

DECEMBER 8, 2016

NEW DISTRICT: HISTORIC CORE II

NEW DISTRICT BSD HISTORIC CORE II



QUESTION 1:

DO YOU AGREE WITH THE LOCATION
THE NEW DISTRICT?

- A. DEFINITELY
- B. PRETTY SURE
- C. NOT SURE
- D. NOT AT ALL
- E. OTHER. (PLEASE EXPLAIN)

NEW DISTRICT PERMITTED BUILDING TYPE

Historic Cottage Commercial BUILDING TYPE

BSD DISTRICTS									
Permitted Building Types	Residential	Office Residential	Office	Commercial	Historic Core	(NEW) HISTORIC CORE II	Historic Transition	Historic Residential 1 Neighborhood	Indian Run Neighborhood
	Single Family Detached	●							
	Single Family Attached	●					●		●
	Apartment Building	●	●				●		●
	Corridor Building	●	●	●					●
	Live/Work/Loft	●	●	●			●		●
	Commercial Center				●				
	Historic Cottage Commercial				●	●			
	Historic Mixed Use				●		●		
	Mixed Use								●
Public	Large Format Commercial				●				●
	Civic Building	●	●	●	●	●	●		●
1 Building Types do not apply to the Historic Residential District. Refer to §153.063(A).									



Building type in the new proposed Historic Core II would be limited to the Historic Cottage Commercial and Civic Building.

(10) Historic Cottage Commercial

(a) Building Siting		(d) Façade Requirements	
1. Street Frontage		Refer to §153.062(D) through §153.062(N) for design requirements general to all buildings.	
Multiple Principal Buildings	Permitted	1. Street Façade Transparency	
Front Property Line Coverage	Minimum 50%	Transparency	Minimum 25%
Occupation of Corner	Required	Blank Wall Limitations	Required on ground story only
Front RBZ	0-25 ft. ¹	2. Non-Street Façade Transparency	
Corner Side RBZ	0-15 ft. ¹	Transparency	Minimum 15%
RBZ Treatment	Landscape, Patio, or Streetscape	Blank Wall Limitations	Not required
Right-of-Way Encroachment	Projecting signs, awes, zewings, patios, & canopies	3. Building Entrance	
2. Buildable Area		Principal Entrance Location	Principal frontage street façade of building
Minimum Side Yard Setback	3 ft.	Street Façades: Number of Entrances	1 per every 30 ft. for buildings over 50 ft. minimum
Minimum Rear Yard Setback	5 ft.	Parking Lot Façades: Number of Entrances	Not applicable
Minimum Lot Width	30 ft.	4. Façade Divisions	
Maximum Lot Width	None	Vertical Increments	No greater than 30 ft.
Maximum Building Length or Depth	70 ft.	Horizontal Façade Divisions	Not applicable
Maximum Impervious Coverage	75%	Required Change in Roof Plane or Type	At every vertical division
Additional Semi-Permeous Coverage	10%	5. Façade Materials	
3. Parking Location & Loading		Permitted Primary Materials	Stone, Brick, Wood Siding
Parking Location	Rear or side, provided the minimum front property line coverage is met.	6. Roof Types	
Loading Facility Location	Not applicable	Permitted Types	Pitched roof; other types permitted with approval (refer to §153.062(D))
Entry for Parking within Building	Not applicable	Tower	Not permitted
Access	Refer to §153.062(N)(1)(C)	(b) Height	
(c) Uses & Occupancy Requirements		Minimum Height	1 story
Ground Story	Residential uses prohibited	Maximum Height	2 stories
Upper Story	No additional requirements	Ground Story: Minimum Height	8 ft.
Parking within Building	Not permitted	Maximum Height	11 ft.
Occupied Space	Not applicable	Upper Stories: Minimum Height	7.5 ft.
		Maximum Height	11 ft.

56

§ 153.062 (O) (10)
BUILDING TYPES
HISTORIC COTTAGE COMMERCIAL

EFFECTIVE DATE
JANUARY 7, 2015

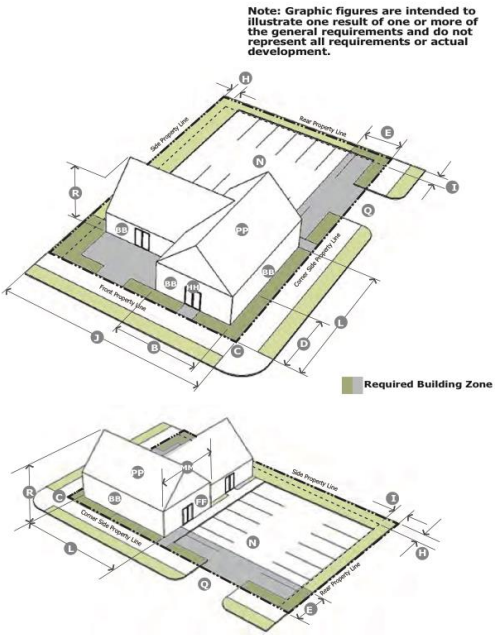


FIGURE 153.062-W: HISTORIC COTTAGE COMMERCIAL BUILDING TYPE DIAGRAM.

BRIDGE STREET DISTRICT
DEVELOPMENT CODE

§ 153.062 (O) (10)
BUILDING TYPES
HISTORIC COTTAGE COMMERCIAL

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NEW DISTRICT PERMITTED USES

Permitted USES

Uses for the new proposed Historic Core II District (highlighted with red text) include a range of less intensive uses than those in the Historic Core, such as offices and personal services.

SAME USES PERMITTED IN
HISTORIC CORE, EXCEPT:

- No Hotels (Bed & Breakfast permitted with limited number of rooms)
- Eating & Drinking Places (with a limitation on hours open)
- No Principal Use Surface Parking or Structure Parking

TABLE 153.059-A: PERMITTED AND CONDITIONAL USES IN BSD DISTRICTS

P = Permitted U=Permitted on upper floor only C=Conditional S=Size Limited T=Time Limited Permit

	Residential	Office-Residential	Office	Commercial	HISTORIC CORE	(NEW) HISTORIC CORE II	HISTORIC TRANSITION	HISTORIC RESIDENTIAL	Indian Run	Sawmill Center	Vertical Mixed Use	Public	Use Specific Standards (C)	
PRINCIPAL USES														
RESIDENTIAL														
Dwelling, Single-family	P							P					(1)(a)	
Dwelling, Two-family	P													
Dwelling, Townhouse	P	P					P		P		U		(1)(b)	
Dwelling, Live-work	C	P	P		P	P	P		P	P	P		(1)(c)	
Dwelling, Multiple-family	P	P			U	U	U		P	P	P			
Group Residence	S	P									U		(1)(d)	
CIVIC/PUBLIC/INSTITUTIONAL														
Adult or Child Day Care		P	P	P	P	P	P		P	P	P		(2)(a)	
Community Center	C	C					P			P	P	P	(2)(b)	
Community Garden	P	P	P	P	P	P	P	P	P	P	P	P	(2)(c)	
District Energy Plant	C	C	C	C	C	C	C		C	C	C		(2)(d)	
Education Facility		P	P	P		P	P			P	P	P		
Elementary or Middle School								P				P		
Hospital	C,S	C,S							C,S	C,S	C		(2)(e)	
Library, Museum, Gallery	P	P			P	P	P		P	P	P	P	(2)(f)	
Municipal Parking Lot					P	P								
Religious or Public Assembly			C,S	C,S	C,S	C,S	C,S		C,S	C,S	C,S		(2)(g)	
Park or Open Space	P	P	P	P	P	P	P	P				P		
Public Safety Facility	C	C	C	C			C		C	C	C	P		
Transit Station			C	C					C	C	C	C		
COMMERCIAL														
Animal Care		P	P	P	P		P		P	P	P		(3)(a)	
Bed and Breakfast					P	P							(3)(b)	
Conference Center		C					P		P	P	U			
Eating and Drinking		P,S	P	P	P		P		P	P	P	P	(3)(c)	
Entertainment / Recreation, Indoor				P,S			P,S			P	P	P	C	(3)(d)
Fueling / Service Station				C									(3)(e)	
Hotel		P	P	P	P		P		P	P	U			
Office, General		P	P	P	P		P		P	P	P	U		
Office, Medical		P	P	P	P		P		P	P	P			
Parking Structure	P,C	P,C	P,C	P,C	P,C		P,C		P,C	P,C	P,C		(3)(f)	
Personal, Repair, & Rental Services	P,S	P,S	P	P	P		P		P	P	P		(3)(g)	
Research & Development		P	P	P	P		P		P	P	U			
Retail, General				P	P,S	S	P,S			P	P	P	(3)(h)	
Sexually-oriented Businesses				C									(3)(i)	
Vehicle, Sales Rental and Repair				C						C			(3)(j)	
Wireless Communications	Refer to Chapter 99 of Dublin Code of Ordinances													
ACCESSORY AND TEMPORARY USES														
Accessory uses are permitted only in connection with a permitted or approved conditional use on the same property, and must be clearly subordinate and incidental to that use. No accessory use may be operated when a permitted or approved conditional use does not exist on the property.														
Adult or Child Care	P	P	P	P	P	P	P		P	P	P	P	(3)(a)	
Alternative Energy Equipment	P	P	P	P	P	P	P	P	P	P	P	P	(4)(a)	
Bicycle Facilities	P	P	P	P	P	P	P	P	P	P	P	P		
Community Activity	T	T	T	T	T	T	T	T	T	T	T	T		
Construction Trailer/Office	T	T	T	T	T	T	T	T		T	T	T	(4)(b)	
Drive-in/Drive-through				P									(4)(c)	
Dwelling Rental or Sales Office	T	T	T	T	T	T	T		T	T	T		(4)(d)	
Eating & Drinking		P	P	P	P					P	P	P	(4)(e)	
Essential Utility Services	P	P	P	P	P	P	P	P		P	P	P		
Exercise and Fitness	P	P	P	P	P,S	P,S	P,S			P	P	P	(4)(f)	
Farmers Market			P	P	P	P	P			P	P	P		
Gardening	P	P	P	P	C	C	C	P		C	C	P	(4)(g)	
Home Occupation	P	P	P	P	P	P	P			P	P	P	(4)(h)	
Outdoor Display or Seasonal Sales	T	T	T	T	T	T	T		T	T	T	T	(4)(i)	
Parking, Structure	P,C	P,C	P,C	P,C	P,C	P,C	P,C		P,C	P,C	P,C	P,C	(3)(f)	
Parking, Surface	P	P	P	P	P	P	P		P	P	P	P	(4)(j)	
Residence	P	P	P	P						P	P	P	(4)(k)	
Retail or Personal Services		P,S	P,S	P,S	P,S	P,S	P,S			P	P,S		(4)(l)	
Transit Stop	P	P	P	P	P	P	P			P	P	P		
Vehicle Charging Station	P	P	P	P	P	P	P			P	P	P		
Wireless Communications	Refer to Chapter 99 of Dublin Code of Ordinances													

QUESTION 2:

WHAT IS YOUR OPINION ON LIMITING EATING & DRINKING USES IN THE NEW DISTRICT

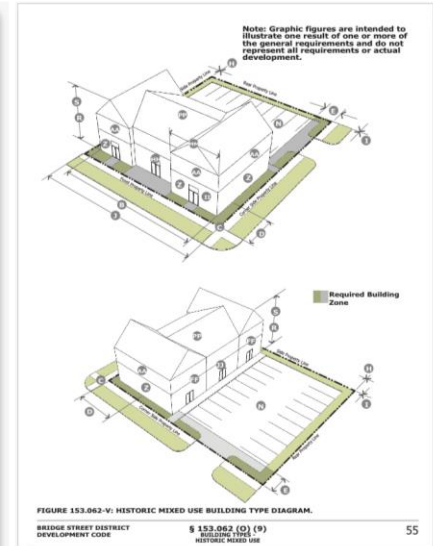
- A. Do not limit this use.
- B. Require closing by 10pm.
- C. Require closing by 3pm.
- D. Limit business hours to some other timeframe. Please explain below.
- E. Do not allow Eating & Drinking uses in the district.
- F. Other. (Please explain below.)

BUILDING TYPE: HISTORIC COTTAGE

DESIGN STANDARDS BUILDING TYPES +

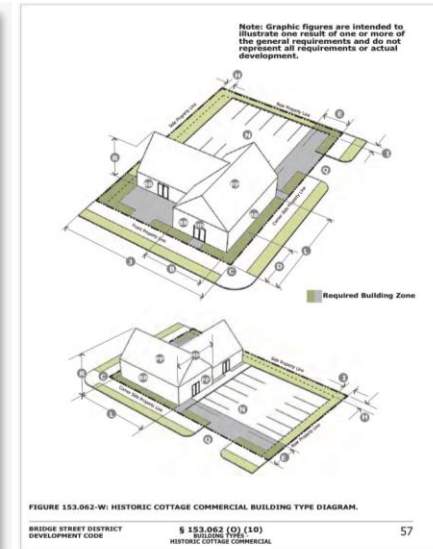
Historic Mixed Use BUILDING TYPE

(9) Historic Mixed Use	
(a) Building Siting	
1. Street Frontage	Permitted
Minimum Principal Building	Permitted
Front Property Line Coverage	Minimum 50%
Occupation of Corner	Required
Front RSE	0-25 ft. 1
Corner Side RSE	0-10 ft. 1
RSE Treatment	Paint or (Streetwall) treatments, signs, and landscaping are permitted in the RSE.
Right-of-Way Encroachment	Prohibiting signs, awnings, patios, porches, & canopies
(b) Height	
2. Buildable Area	
Maximum Side Yard Setback	0 ft.
Maximum Rear Yard Setback	0 ft.
Maximum Lot Width	30 ft.
Maximum Lot Depth	120 ft.
Maximum Coverage Coverage	65%
Additional Side-Setback Coverage	1%
(c) Uses & Occupancy Requirements	
Ground Story	Residential use prohibited. Retail, service, and other uses are permitted in accordance with § 153.062(1)(b).
Upper Story	No additional requirements.
Parking within Building	Not permitted.
Occupied Space	Not applicable.
(d) Façade Requirements	
Refer to § 153.062(1) through § 153.062(1)(c) for design requirements general to all buildings.	
1. Street Façade Transparency	
Ground Story	Transparency with minimum 60%
Street Façade Transparency	Minimum 20%
Blank Wall Locations	Required
2. Non-Street Façade Transparency	
Transparency	Minimum 15%
Blank Wall Locations	Required
3. Building Entrance	
Principal Entrance Location	Principal Façade street façade of building
Street Façade: Number of Entrances	1 per 40 ft. of façade for buildings over 80 ft. minimum
Parking Lot Façade: Number of Entrances	Minimum of 1
Mid-Building Pedestrianway	1 required for buildings greater than 150 ft. in length
4. Façade Divisions	
Vertical Divisions	No greater than 30 ft.
Horizontal Façade Divisions	N/A
Required Change in Roof Pitch in 30 ft.	At every vertical division
5. Façade Materials	
Permitted Primary Materials	Stone, Brick, Wood Siding
6. Roof Types	
Permitted Types	Pitched roof, other types permitted with approval under § 153.062(1)(c)
Tower	Not permitted
Note: If there are front or corner property lines within five feet or less of the back of curb, the RSE shall begin five feet off the back of curb to allow for adequate sidewalk width.	



Historic Cottage Commercial BUILDING TYPE

(10) Historic Cottage Commercial	
(a) Building Siting	
1. Street Frontage	Permitted
Minimum Principal Building	Permitted
Front Property Line Coverage	Minimum 50%
Occupation of Corner	Required
Front RSE	0-25 ft. 1
Corner Side RSE	0-10 ft. 1
RSE Treatment	Landscaping, patios, or other treatments
Right-of-Way Encroachment	Prohibiting signs, awnings, patios, porches, & canopies
(b) Height	
2. Buildable Area	
Maximum Side Yard Setback	3 ft.
Maximum Rear Yard Setback	3 ft.
Maximum Lot Width	30 ft.
Maximum Lot Depth	120 ft.
Maximum Building Length or Depth	70 ft.
Maximum Coverage Coverage	65%
Additional Side-Setback Coverage	1%
(c) Uses & Occupancy Requirements	
Ground Story	Residential use prohibited. Retail, service, and other uses are permitted in accordance with § 153.062(1)(b).
Upper Story	No additional requirements.
Parking within Building	Not permitted.
Occupied Space	Not applicable.
(d) Façade Requirements	
Refer to § 153.062(1) through § 153.062(1)(c) for design requirements general to all buildings.	
1. Street Façade Transparency	
Transparency	Minimum 20%
Blank Wall Locations	Required on ground story only
2. Non-Street Façade Transparency	
Transparency	Minimum 15%
Blank Wall Locations	Not required
3. Building Entrance	
Principal Entrance Location	Principal Façade street façade of building
Street Façade: Number of Entrances	1 per every 30 ft. for buildings over 80 ft. minimum
Parking Lot Façade: Number of Entrances	Not applicable
4. Façade Divisions	
Vertical Divisions	No greater than 30 ft.
Horizontal Façade Divisions	Not applicable
Required Change in Roof Pitch in 30 ft.	At every vertical division
5. Façade Materials	
Permitted Primary Materials	Stone, Brick, Wood Siding
6. Roof Types	
Permitted Types	Pitched roof, other types permitted with approval under § 153.062(1)(c)
Tower	Not permitted
Note: If there are front or corner property lines within five feet or less of the back of curb, the RSE shall begin five feet off the back of curb to allow for adequate sidewalk width.	



HISTORIC DUBLIN DESIGN GUIDELINES

Preserving Historic Architecture

DESIGN STANDARDS

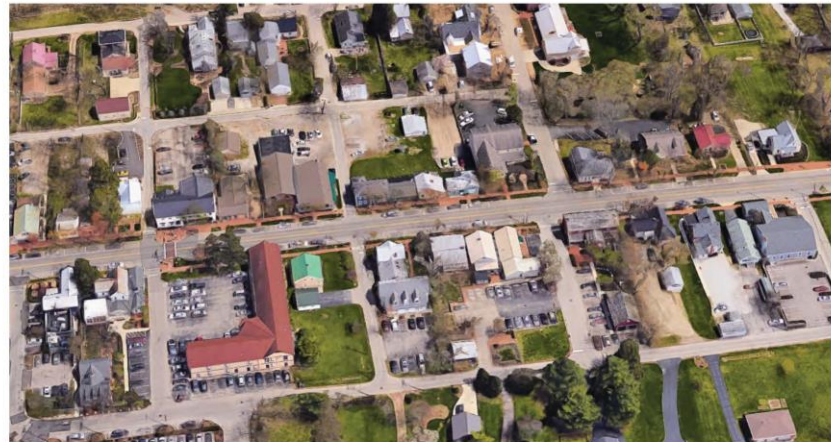
BUILDING TYPE: HISTORIC CORE

STATION 4 SITE DEVELOPMENT: SCALE & MASSING

A mocked up site with context scaled similarly to High Street south of Bridge was developed. The goal is to model potential building massings that will relate appropriately to residential parcels to the rear. The site is designed with a Historic Mixed Use building type at the front and other buildings to the rear. In most cases, existing historic buildings will exist at the front of the site.

The study site has a lane behind it similar to Mills or Blacksmith Lane. The study sites is flat -- sloped sites similar to those along Blacksmith are discussed separately.

GENERIC
SITE STUDY



DESIGN STANDARDS

BUILDING TYPE: HISTORIC CORE

STATION 4 SITE DEVELOPMENT: SCALE & MASSING

Study 1 of the generic site study includes a mixed use L-shaped building. Along the main street storefronts occupy the ground floor of the building. Residential units face the side street and the interior of the lot. The building is 2.5 stories along the length of the building. Parking could be located in the basement with either surface parking or landscape area behind the building.

GENERIC
SITE STUDY
1



DESIGN STANDARDS

BUILDING TYPE: HISTORIC CORE

STATION 4 SITE DEVELOPMENT: SCALE & MASSING

Study 2 of the generic site study includes a mixed use building along the main street plus a series of townhouses or live-work units along the side street and on the interior of the lot. Along the main street storefronts occupy the ground floor of the building. All buildings are 2 to 2.5 stories. Parking for the townhouses or live-work units are shown in garages, accessed from the rear, in the basement of the units.

GENERIC
SITE STUDY
2



OPTION WITH FEWER REAR BUILDINGS



DESIGN STANDARDS

BUILDING TYPE: HISTORIC CORE

STATION 4 SITE DEVELOPMENT: SCALE & MASSING

Study 3 of the generic site study includes a mixed use building along the main street and a series of cottage-like office or residential buildings in the rear of the site. Along the main street storefronts occupy the ground floor of the building with residences or commercial space above. Residential or office units in the rear face the side street and the interior of the lot. The building varies more than any of the other studies. A small garage for parking is shown in the rear for the residential or office units.



ELEMENTS OF THIS DESIGN:

- Regardless of High Street frontage, multiple cottage type buildings in the rear
- Step down the heights to 1.5 stories at the lanes parallel to High Street
- Provide for landscape space between the buildings
- Create “niches” of landscape areas, instead of continuous streetwall
- Screen parking from side streets
- Allow mix of uses within the cottages including office, residential, retail, service



OPTION WITH FEWER REAR BUILDINGS



DESIGN STANDARDS

BUILDING TYPE: HISTORIC COTTAGE COMMERCIAL

Historic Cottage Commercial BUILDING TYPE

(10) Historic Cottage Commercial

(a) Building Siting

1. Street Frontage	Permitted
Multiple Principal Buildings	Permitted
Front Property Line Coverage	Minimum 50%
Occupation of Corner	Required
Front RBZ	0-25 ft. ¹
Corner Side RBZ	0-15 ft. ¹
RBZ Treatment	Landscape, Patio, or Streetscape
Right-of-Way Encroachment	Projecting signs, eaves, awnings, patios, & canopies

2. Buildable Area

Minimum Side Yard Setback	3 ft.
Minimum Rear Yard Setback	5 ft.
Minimum Lot Width	30 ft.
Maximum Lot Width	None
Maximum Building Length or Depth	70 ft.
Maximum Impervious Coverage	75%
Additional Semi-Permeable Coverage	10%

3. Parking Location & Loading

Parking Location	Rear or side, provided the minimum front property line coverage is met
Loading Facility Location	Not applicable
Entry for Parking within Building	Not applicable
Access	Refer to §153.062(N)(1)(c)

(b) Height

Minimum Height	1 story
Maximum Height	2 stories
Ground Story: Minimum Height	8 ft.
Ground Story: Maximum Height	11 ft.
Upper Stories: Minimum Height	7.5 ft.
Upper Stories: Maximum Height	11 ft.

(c) Uses & Occupancy Requirements

Ground Story	Residential uses prohibited
Upper Story	No additional requirements
Parking within Building	Not permitted
Occupied Space	Not applicable

(d) Façade Requirements

Refer to §153.062(D) through §153.062(N) for design requirements general to all buildings.

1. Street Façade Transparency

Transparency	Minimum 25%
Blank Wall Limitations	Required on ground story only

2. Non-Street Façade Transparency

Transparency	Minimum 15%
Blank Wall Limitations	Not required

3. Building Entrance

Principal Entrance Location	Principal frontage street façade of building
Street Façades: Number of Entrances	1 per every 30 ft. for buildings over 50 ft. minimum
Parking Lot Façades: Number of Entrances	Not applicable

4. Façade Divisions

Vertical Increments	No greater than 30 ft.
Horizontal Façade Divisions	Not applicable
Required Change in Roof Plane or Type	At every vertical division

5. Façade Materials

Permitted Primary Materials	Stone, Brick, Wood Siding
-----------------------------	---------------------------

6. Roof Types

Permitted Types	Pitched roof; other types permitted with approval (refer to §153.062(D))
Tower	Not permitted

Note:

¹ When any front or corner property line is within five feet or less of the back of curb, the RBZ shall begin five feet off the back of curb to allow for adequate sidewalk width.

Note: Graphic figures are intended to illustrate one result of one or more of the general requirements and do not represent all requirements or actual development.

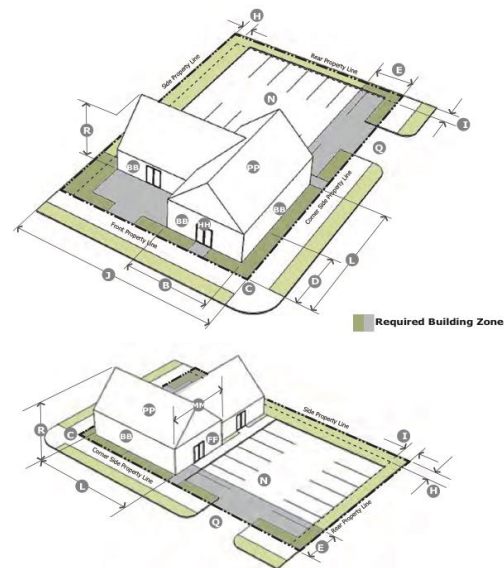


FIGURE 153.062-W: HISTORIC COTTAGE COMMERCIAL BUILDING TYPE DIAGRAM.

QUESTION 3:

DO YOU AGREE WITH THE PROPOSED
DEVELOPMENT ENVELOPES FOR THE
REAR OF LOTS IN THE HISTORIC CORE?

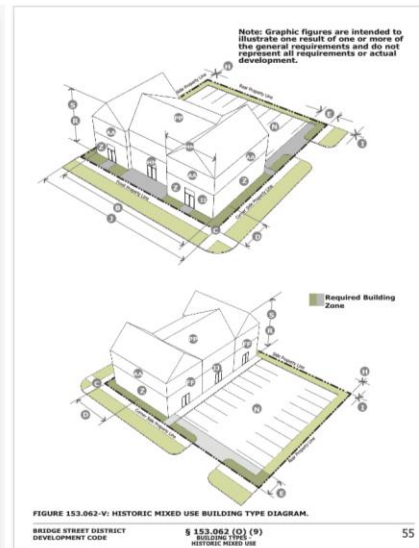
- A. DEFINITELY
- B. PRETTY SURE
- C. NOT SURE
- D. NOT AT ALL
- E. OTHER (PLEASE EXPLAIN)

HISTORIC CORE: DESIGN

DESIGN STANDARDS BUILDING TYPES +

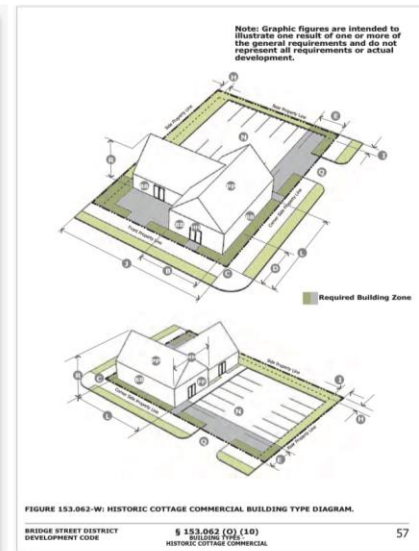
Historic Mixed Use BUILDING TYPE

(9) Historic Mixed Use	
(a) Building Siting	
1. Street Frontage	Permitted
Minimum Principal Building	Permitted
Front Property Line Coverage	Minimum 50%
Occupation of Corner	Required
Front RSE	0-25 ft. 1
Corner Side RSE	0-10 ft. 1
RSE Treatment	Paint or (Streetwall) treatments, signs, and landscaping are permitted in the RSE.
Right-of-Way Encroachment	Projecting signs, awnings, patios, porches, & canopies
(b) Height	
2. Buildable Area	
Maximum Side Yard Setback	0 ft.
Maximum Rear Yard Setback	0 ft.
Maximum Lot Width	30 ft.
Maximum Lot Depth	120 ft.
Maximum Coverage Coverage	65%
Additional Side-Setback Coverage	1%
(c) Uses & Occupancy Requirements	
Ground Story	Residential use prohibited. Retail, service, and other uses are permitted in accordance with § 153.062(1)(b).
Upper Story	No additional requirements.
Parking within Building	Not permitted.
Occupied Space	Not applicable.
(d) Façade Requirements	
Refer to § 153.062(1) through § 153.062(1)(c) for design requirements general to all buildings.	
1. Street Façade Transparency	
Ground Story	Transparency with minimum 60%
Street Façade Transparency	Minimum 20%
Blank Wall Locations	Required
2. Non-Street Façade Transparency	
Transparency	Minimum 15%
Blank Wall Locations	Required
3. Building Entrance	
Principal Entrance Location	Principal Façade street façade of building
Street Façade: Number of Entrances	1 per 40 ft. of façade for buildings over 80 ft. minimum
Parking Lot Façade: Number of Entrances	Minimum of 1
Mid-Building Pedestrianway	1 required for buildings greater than 150 ft. in length
4. Façade Divisions	
Horizontal Façade Divisions	No greater than 30 ft.
Required Change in Roof Pitch in Zone	N/A
5. Façade Materials	
Permitted Primary Materials	Stone, Brick, Wood Siding
6. Roof Types	
Permitted Types	Pitched roof, other types permitted with approval under to § 153.062(1)(c)
Tower	Not permitted
Note: If there are front or corner property line is within five feet or less of the back of curb, the RSE shall begin five feet off the back of curb to allow for adequate sidewalk width.	



Historic Cottage Commercial BUILDING TYPE

(10) Historic Cottage Commercial	
(a) Building Siting	
1. Street Frontage	Permitted
Minimum Principal Building	Permitted
Front Property Line Coverage	Minimum 50%
Occupation of Corner	Required
Front RSE	0-25 ft. 1
Corner Side RSE	0-10 ft. 1
RSE Treatment	Paint or (Streetwall) treatments, signs, and landscaping are permitted in the RSE.
Right-of-Way Encroachment	Projecting signs, awnings, patios, porches, & canopies
(b) Height	
2. Buildable Area	
Maximum Side Yard Setback	3 ft.
Maximum Rear Yard Setback	3 ft.
Maximum Lot Width	30 ft.
Maximum Lot Depth	120 ft.
Maximum Building Length or Depth	70 ft.
Maximum Coverage Coverage	65%
Additional Side-Setback Coverage	1%
(c) Uses & Occupancy Requirements	
Ground Story	Residential use prohibited. Retail, service, and other uses are permitted in accordance with § 153.062(1)(b).
Upper Story	No additional requirements.
Parking within Building	Not permitted.
Occupied Space	Not applicable.
(d) Façade Requirements	
Refer to § 153.062(1) through § 153.062(1)(c) for design requirements general to all buildings.	
1. Street Façade Transparency	
Ground Story	Transparency with minimum 60%
Street Façade Transparency	Minimum 20%
Blank Wall Locations	Required on ground story only
2. Non-Street Façade Transparency	
Transparency	Minimum 15%
Blank Wall Locations	Not required
3. Building Entrance	
Principal Entrance Location	Principal Façade street façade of building
Street Façade: Number of Entrances	1 per every 30 ft. for buildings over 80 ft. minimum
Parking Lot Façade: Number of Entrances	Not applicable
4. Façade Divisions	
Horizontal Façade Divisions	No greater than 30 ft.
Required Change in Roof Pitch in Zone	At every vertical division
5. Façade Materials	
Permitted Primary Materials	Stone, Brick, Wood Siding
6. Roof Types	
Permitted Types	Pitched roof, other types permitted with approval under to § 153.062(1)(c)
Tower	Not permitted
Note: If there are front or corner property line is within five feet or less of the back of curb, the RSE shall begin five feet off the back of curb to allow for adequate sidewalk width.	



HISTORIC DUBLIN DESIGN GUIDELINES

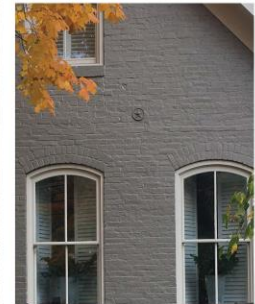
Preserving Historic Architecture

DESIGN STANDARDS BUILDING MATERIALS

STATION 2 MATERIALS & BUILDING DESIGN

Permitted materials are defined in the existing code as Permitted primary building materials shall be high quality, durable materials including but not limited to stone, manufactured stone, full depth brick and glass. Other high quality synthetic materials may be approved as permitted primary or secondary materials by the required reviewing body with examples of successful, high quality installations in comparable climates.

Permitted MATERIALS



Are there situations in Historic Dublin where concrete blocks (CMU) would be acceptable materials? Is false stucco (EIFS) an appropriate material (not currently permitted in the Historic Core)? Are there any situations where architectural metal panels would be acceptable (not currently permitted in the Historic Core)?

Other MATERIALS



Concrete Masonry Units



False Stucco



Metal Panels



DESIGN STANDARDS

BUILDING MATERIALS

(E) MATERIALS

(1) Façade Materials

- (a) A minimum of 80% of each façade visible from a street or adjacent property, exclusive of windows and doors, shall be constructed of permitted primary materials. Other facades shall use a combination of permitted primary and secondary materials, as determined by the required reviewing body. Use of a secondary material for an entire façade is not permitted.
- (b) For individual façades over 1,000 square feet, exclusive of windows and doors, a combination of permitted primary materials shall be used to meet the 80% requirement, unless otherwise approved by the required reviewing body. For building designs using glass as an integral façade material (e.g., glazed aluminum or steel curtain walls), windows and doors incorporated into the curtain wall system may be included in the calculated façade area when determining compliance with this requirement.
- (c) Permitted primary building materials shall be high quality, durable materials including but not limited to stone, manufactured stone, full depth brick and glass. Refer to §153.062(O) for permitted primary building materials for individual building types.
- (d) Permitted secondary materials are limited to details and accents and include glass fiber reinforced gypsum, wood siding, fiber cement siding, metal, and exterior architectural metal panels and cladding.
- (e) Exterior Insulation and Finishing system (EIFS) is permitted for trim only, except as provided in 153.062(E)(1)(f).
- (f) EIFS and architectural metal panels and cladding shall not be used in the Historic Core district.

- (g) To provide visual depth and strong shadow lines, clapboard siding must have a minimum butt thickness of a quarter of an inch.
- (h) Other high quality synthetic materials may be approved as permitted primary or secondary materials by the required reviewing body with examples of successful, high quality materials in comparable climates.

(2) Façade Material Transitions

- (a) Vertical transitions in façade materials shall occur at inside corners.
- (b) Where more than one façade material is used vertically, the 'heavier' material shall be incorporated below the 'lighter' material (e.g. masonry below siding).
- (c) Transitions between different materials of the same material shall occur at architecturally appropriate locations as determined by the reviewing body, such as in vertical and horizontal transitions.

EXISTING CODE:

- 80% of each street façade shall be primary materials.
- Requires a combination on facades over 1000 sf
- Permitted primary façade materials shall be high quality, durable materials, including stone, manufactured stone, full depth brick and glass.
- Permitted secondary materials are limited to details and accents and include glass fiber reinforced gypsum, wood siding, fiber cement, and metal.

QUESTION 4:

DO YOU AGREE WITH THE MATERIALS
REQUIREMENTS OUTLINED IN THE
EXISTING CODE?

- A. DEFINITELY
- B. PRETTY SURE
- C. NOT SURE
- D. NOT AT ALL
- E. OTHER (PLEASE EXPLAIN)

DESIGN STANDARDS

Shopfront Design

SHOPFRONT ELEMENTS:

- MAINTAIN existing minimum requirements for ground story glass (40% for Hist MU, 25% for Hist CC)
- Apply a **MAXIMUM** amount of ground story glass
- Prohibit use of standard storefront systems
- MAINTAIN window requirements for lintels, sills, and trim/casing.



DESIGN STANDARDS

Side Street Flexibility

- Eliminate the requirement for shopfront on all street faces
- Allow either a shopfront or a more general ground story
- Allow residential uses to be located on the ground story on side streets
- Minimum transparency will still be required on side street facades



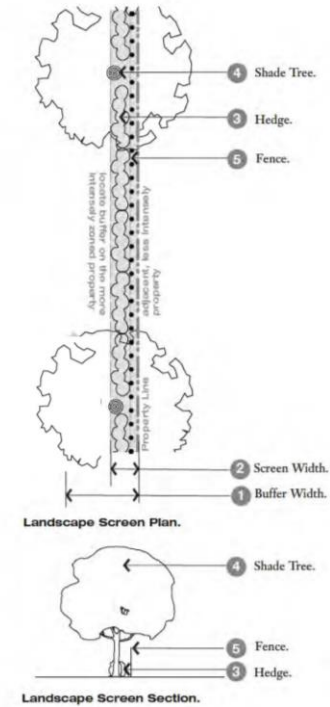
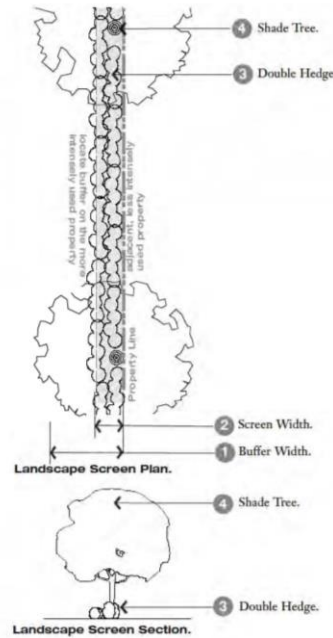
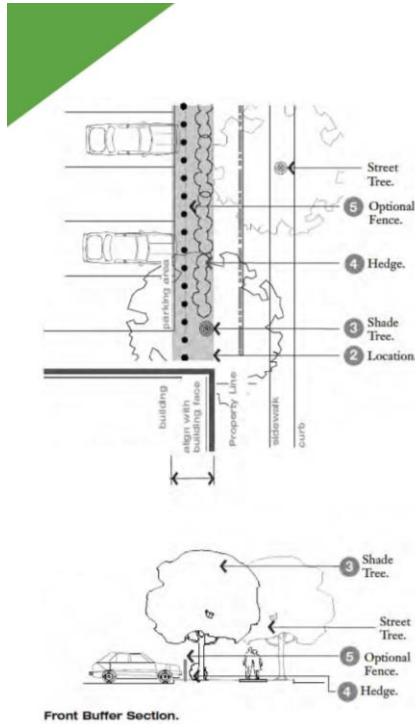
QUESTION 5:

DO YOU AGREE WITH ADDING
FLEXIBILITY TO SIDE STREETS FOR ALL
BRIDGE STREET DISTRICTS AS
OUTLINED?

- A. DEFINITELY
- B. PRETTY SURE
- C. NOT SURE
- D. NOT AT ALL
- E. OTHER (PLEASE EXPLAIN)

DESIGN STANDARDS

TRANSITIONS TO RESIDENTIAL



QUESTION 6:

DO YOU FIND THE PROPOSALS FOR
TRANSITIONS TO RESIDENTIAL
APPROPRIATE for the areas adjacent to
High Street?

- A. DEFINITELY
- B. PRETTY SURE
- C. NOT SURE
- D. NOT AT ALL
- E. OTHER (PLEASE EXPLAIN)

DESIGN STANDARDS

PARKING REQUIREMENTS

PARKING STUDY CURRENTLY UNDERWAY will define the available parking. Once complete:

- Evaluate uses permitted in locations with less already available parking
- Evaluate potential credits for locations with available, useable off-site parking (public parking, on-street parking)
- Evaluate how to appropriate manage parking lots on small sites.

THANK YOU!

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CODAMETRICS

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